

Guilford County, NC



Old Parcel Number	159470450094400030	Condo Book	
Parcel Number	0161688	Condo Page	
PIN	7729407966	Total Assessed Value	\$404,000
Owner Name	WOODS, PERRY III ; WOODS, SIGRID E T/C	Total Building Value	\$300,000
Mailing Address 1	1755 NC 62 WEST	Total Out Building Value	\$0
Mailing Address City	HIGH POINT	Total Land Value	\$104,000
Mailing Address State	NC	Total Deferred Value	\$0
Mailing Address Zip	27263	Building Count	1
Property Address	1755 NC 62 WEST	Building Number	1
Legal Desc 1	Lot # 14.06 AC NELSON	Year Built	1955
Land Units	14.0600	Heated Area	4590
Deed Book	005819	Bedrooms	3
Deed Page	00429	Bathrooms	FULL:2 HALF: 1
Plat Book		Use Code	RESIDENTIAL
Plat Page		Appraisal Model Code	SFR

Disclaimer: While every effort is made to keep information provided over the internet accurate and up-to-date, Guilford County does not certify the authenticity or accuracy of such information. No warranties, express or implied, are provided for the records and/or mapping data herein, or for their use or interpretation by the User.

Map Scale
1 inch = 269 feet

EXHIBIT "A"



Weant Road Feasibility Study

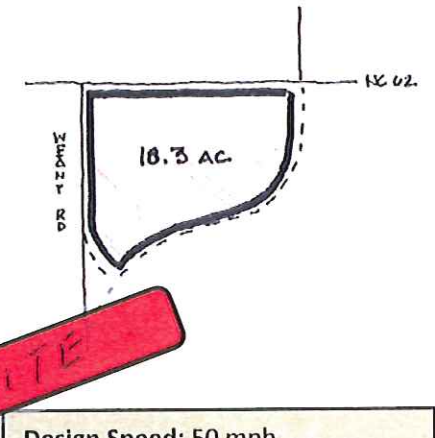
ALTERNATIVE 1

Alternative 1 (ALT 1) follows the alignment highlighted in the NC 62 Corridor Study. ALT 1 departs from the existing Weant Road alignment just north of the Guilford/Randolph County line in a northeasterly direction before turning to a more northerly direction just east of the residential homes located along Bluewood Court.

ALT 1 provides a direct realignment of existing Weant Road to the new proposed intersection with NC 62 and Modlin Grove Road. For northbound motorists on Weant Road this provides for a seamless traffic movement.

ALT 1 utilizes a 50 mph design speed which allows for a posted speed limit of 45 mph which is consistent with the current posted speed limit along Weant Road. Under ALT 1 the remaining portion of existing Weant Road on the original alignment north of the point of divergence, is realigned to a new intersection with the realigned Weant Road.

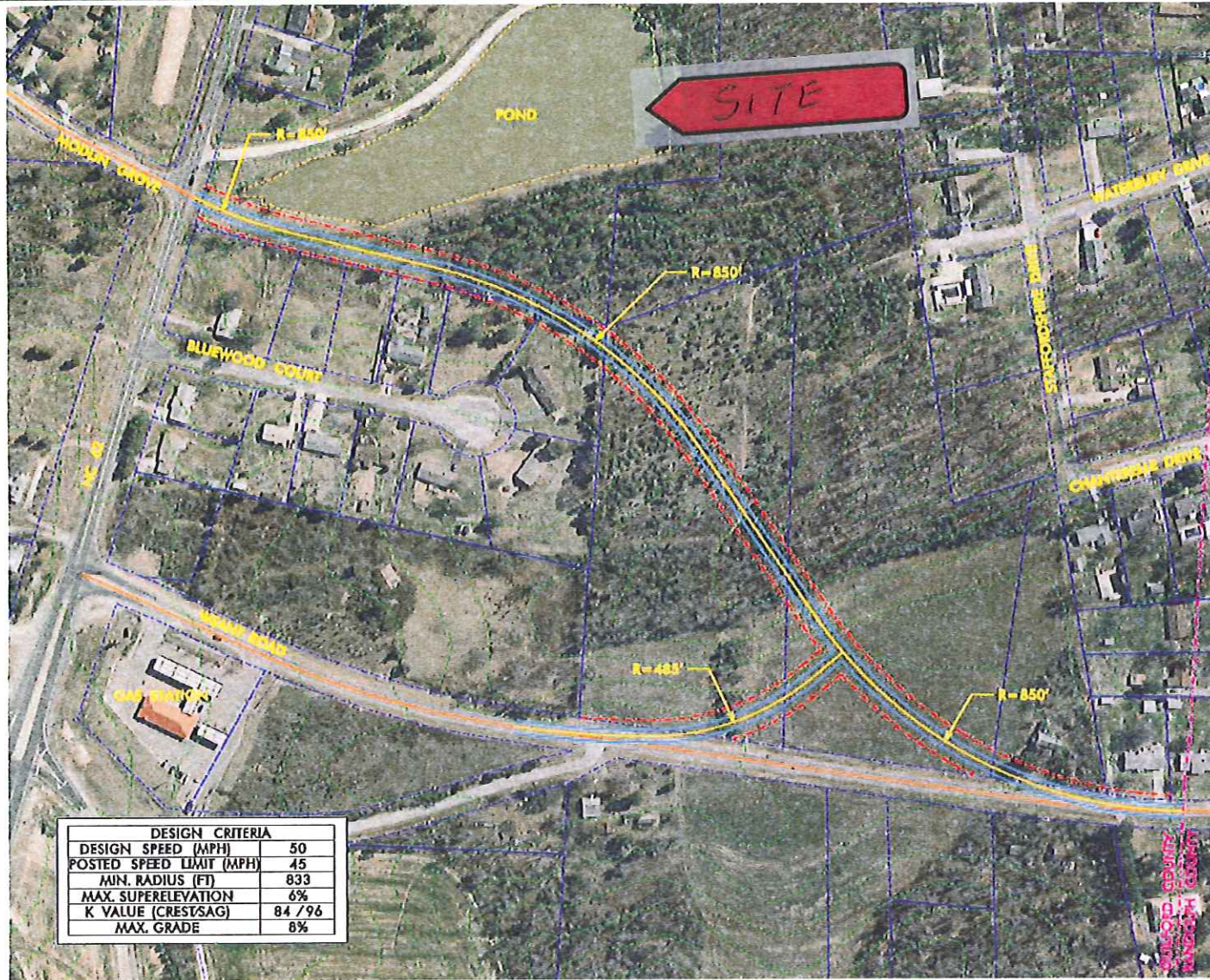
Alternative 1 Alignment



- Design Speed: 50 mph
- Length: 2,300 feet
- Right-of-Way: 3.2 acres
 - Consistent corridor speed limit
 - Potential impacts to Randolph County
 - Increased Property impacts and right-of-way
 - Seamless traffic movement
 - Creates 18.2 acre parcel



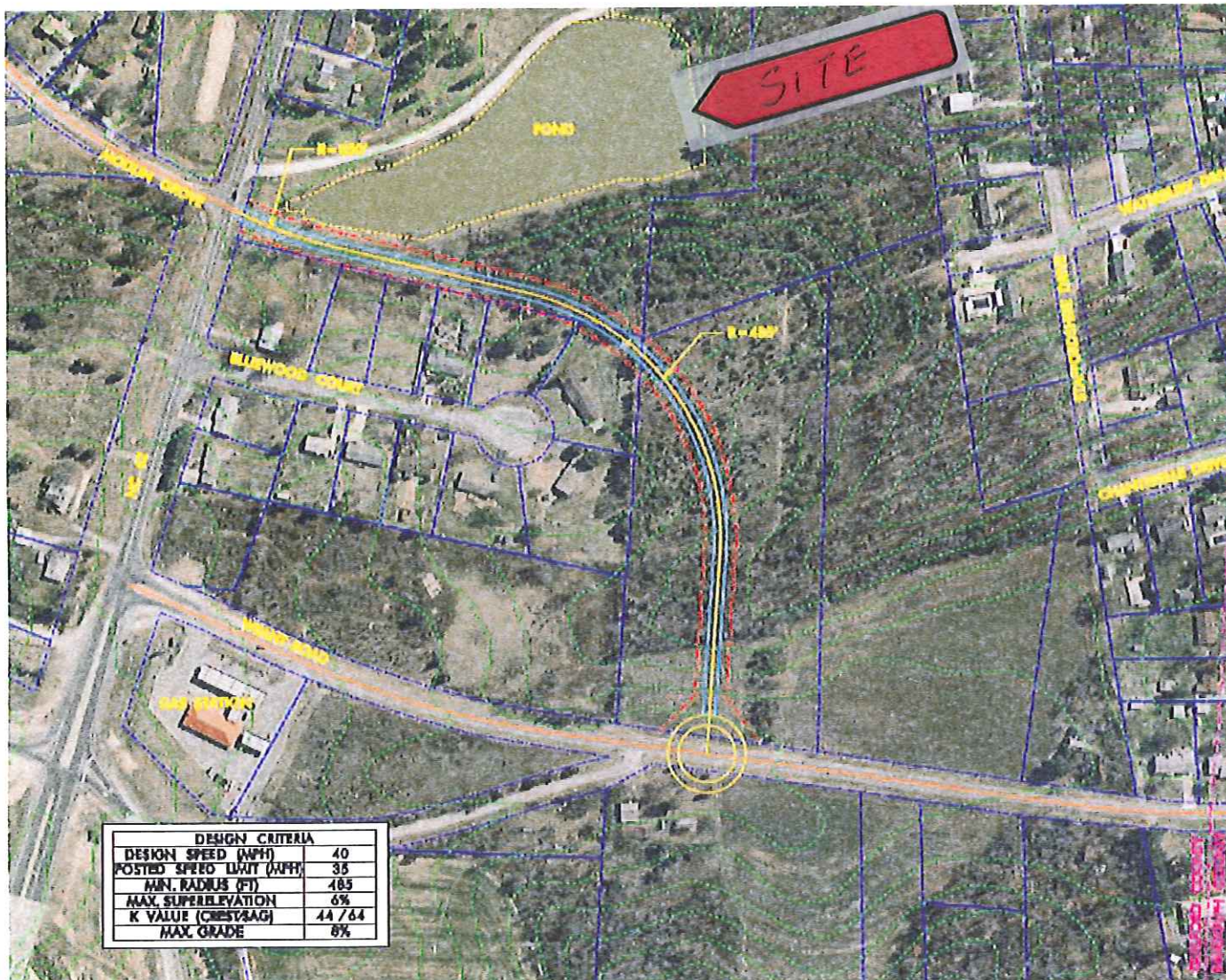
Weant Road Feasibility Study



Alternative 1:
Concept Design



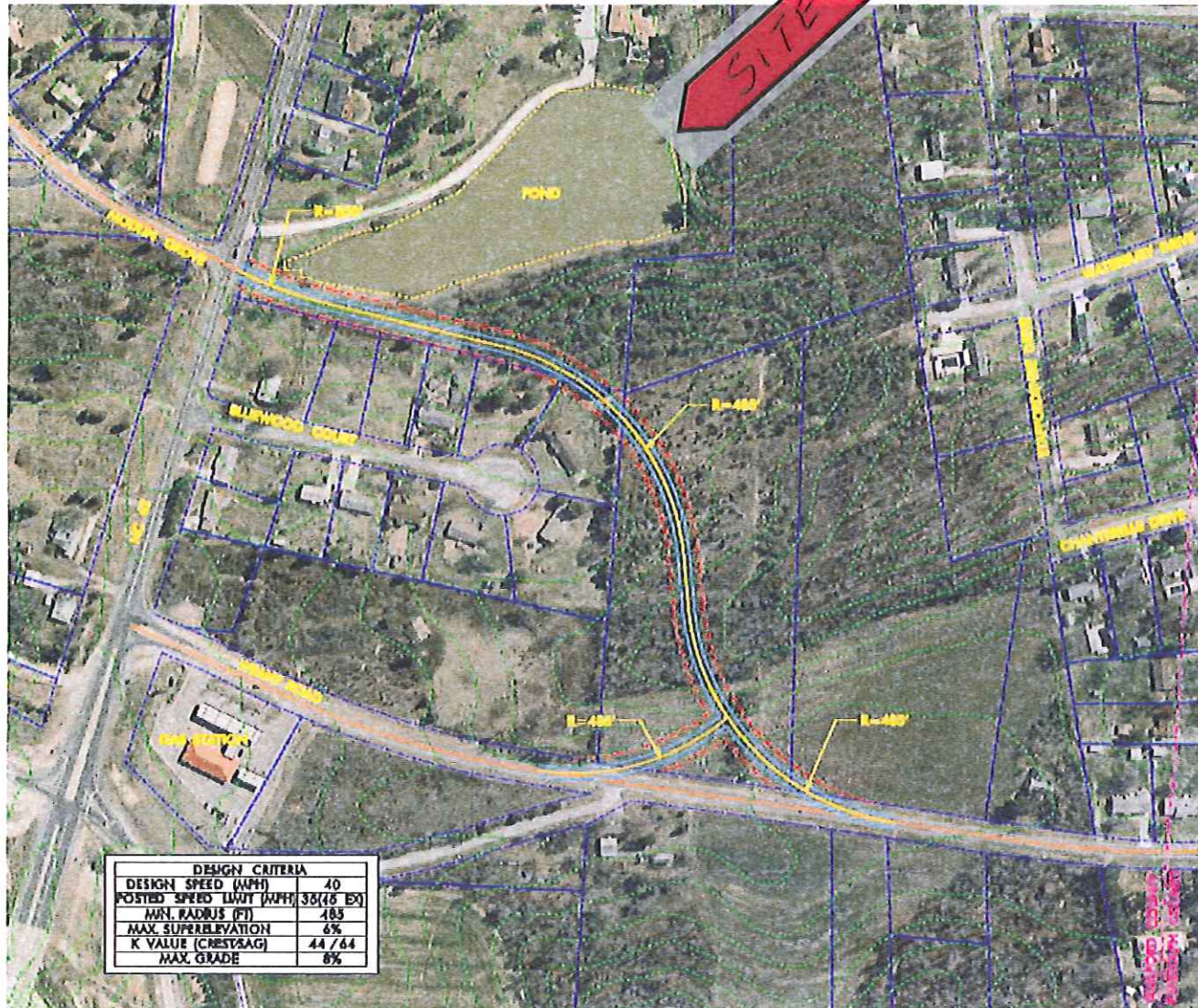
Weant Road Feasibility Study



Alternative 2:
Concept Design



Weant Road Feasibility Study



Alternative 3:
Concept Design



Weant Road Feasibility Study

Preferred Alternative:
Functional Design Concept

